

DO NOT SCALE DRAWINGS - USE WRITTEN DIMENIONS ONLY. ALL DIMENSIONS ARE TO STRUCTURAL FRAMES ONLY (FINISHED SURFACES ARE EXCLUDED UNLESS NOTED OTHERWISE) DIMENSIONS ARE IN MILLIMETERS

REVISION SCHEDULE						
ISS	DESCRIPTION	BY	DATE			
Α	Preliminary Plans		09.08.24			
В	Amended plans as per mark up dated 18.08.24		27.08.24			
С	Amended Plans as per mark up dated 22.10.24		30.10.24			
D	Submission Plans		16.12.24			
E	Amended Submission Plans		14.02.25			

Content of Drawings					
Page	Drawing				
01	Cover Sheet				
02	Demolition Plan				
03	Site Plan				
04	Ground Floor Plan				
05	Attic Floor Plan				
06	Elevations 1-2				
07	Elevations 3-4				
08	Sections				
09	Basix Details				
10	Shadows				
11	Site Analysis				
12	Sediment Control Plan				



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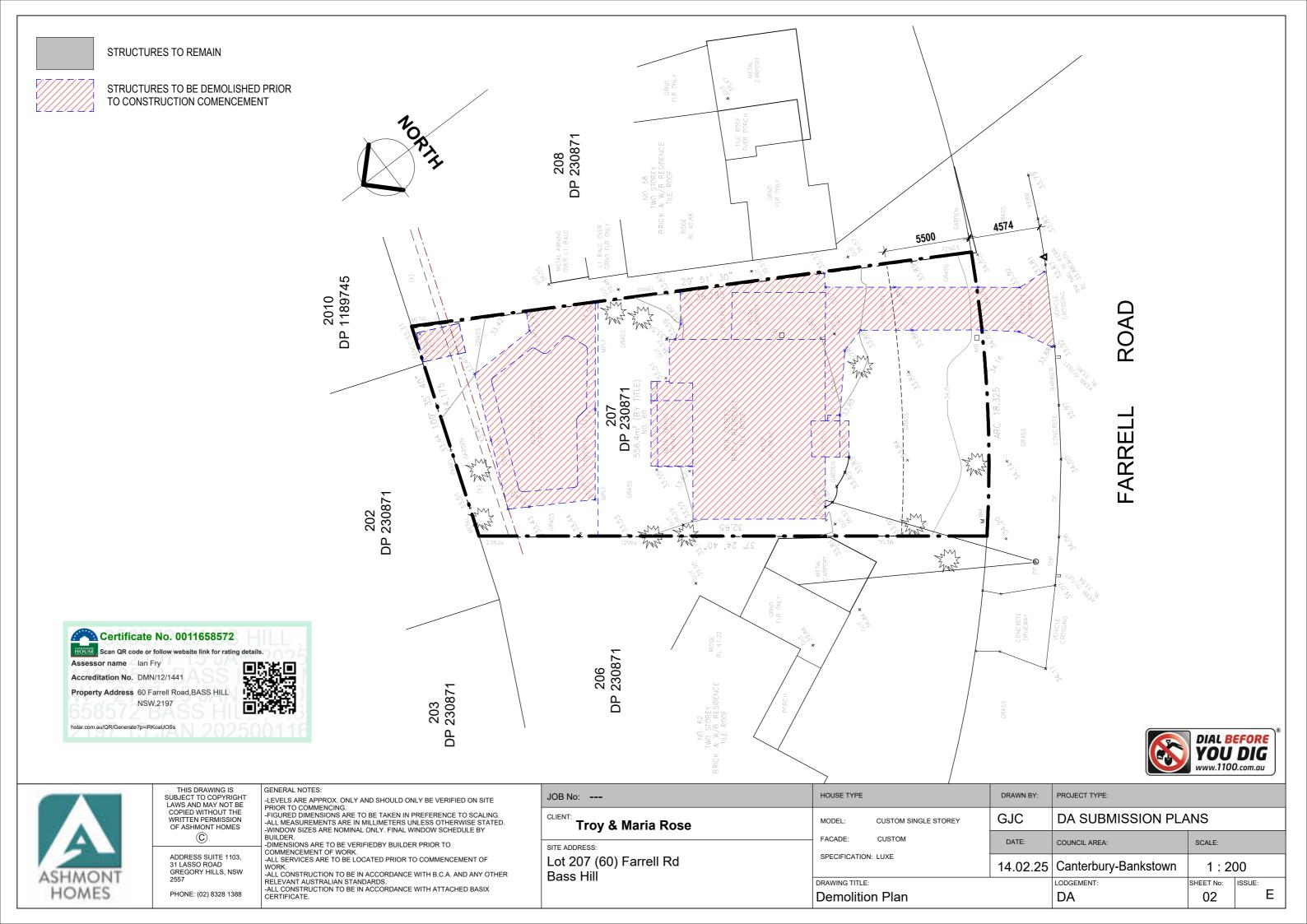
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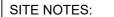
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WORK.
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JOB No:	HOUSE TYPE		DRAWN BY:	PROJECT TYPE:		
Troy & Maria Rose	MODEL: CUSTOM	SINGLE STOREY	GJC	DA SUBMISSION PLANS		
SITE ADDRESS:		CUSTOM	DATE:	COUNCIL AREA:	SCALE:	
Lot 207 (60) Farrell Rd Bass Hill	SPECIFICATION: LUXE		14.02.25	Canterbury-Bankstown		
Dass I IIII	DRAWING TITLE:  Cover Sheet		DA	SHEET No:	ISSUE:	





BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK.

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR.

DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEER DETAILS.

WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED, THE ENGINEER PLANS WILL PREFERENCE TO THESE DRAWINGS. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED AND VERIFIED BEFORE WORK IS COMMENCED.

ANY RETAINING WALLS REQUIRED TO BE COMPLETED BY OWNERS TO

# **COUNCIL COMPLIANCE**

#### SITE DETAILS

LGA CONTROL Canterbury Bankstown DCP 2023 LOT NUMBER / DP NUMBER 207 / DP230871 ZONING R2 LOW DENSITY RESIDENTIAL LOT WIDTH 18.325m/14.175m

SITE AREA 556.40m<sup>2</sup>

#### **FLOOR SPACE RATIO**

MAX ALLOWABLE BY CODE 0.5:1 = 278.20m<sup>2</sup> PROPOSED F.S.R 0.46:1 = 253.50m<sup>2</sup>

#### LANDSCAPING AREAS FRONT YARD REAR YARD

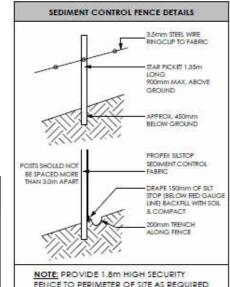
102.06m<sup>2</sup> TOTAL LANDSCAPE AREA 168.53m<sup>2</sup>

PRIVATE OPEN SPACE

MAX ALLOWABLE BY CODE: 80.00m<sup>2</sup> TOTAL P.O.S 122.53m<sup>2</sup>

SITE COVERAGE 250.60m² / 45.04%

### 0.400m FALL OVER BUILDING ENVELOPE



FENCE TO PERIMETER OF SITE AS REQUIRED BY COUNCIL.



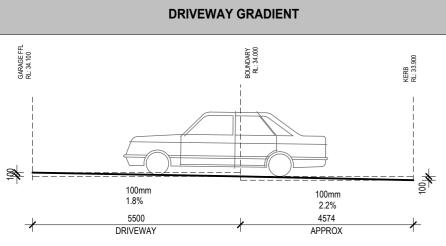
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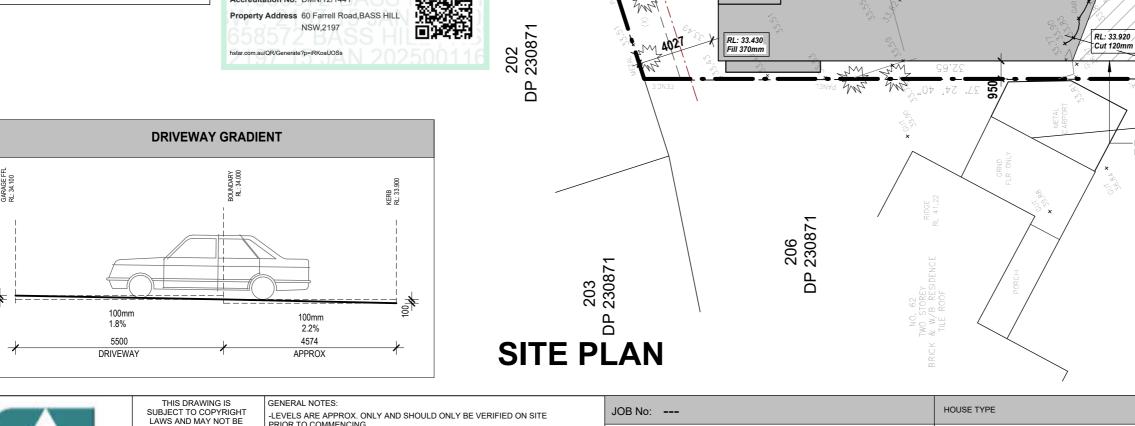


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66.47m<sup>2</sup>



208 DP 230871

RL: 33.460 Fill 340mm

PRIVATE OPEN SPACE

6.0X6.0

207 230871

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DRIVEWAY & PATHWAY BY OWNER AFTER HANDOVER, TO COUNCIL SPECIFICATION

RL: 33.860

- HATCHING INDICATES EXTENT OF EXCAVATION

34.100

CONCRETE PAD

FGL: 33.790

PROPOSED

RESIDENCE FFL: 34.186 FGL: 33.801

GARAGE FFL: 34.100 FGL: 33.790

4574

ROAD

FARRELL



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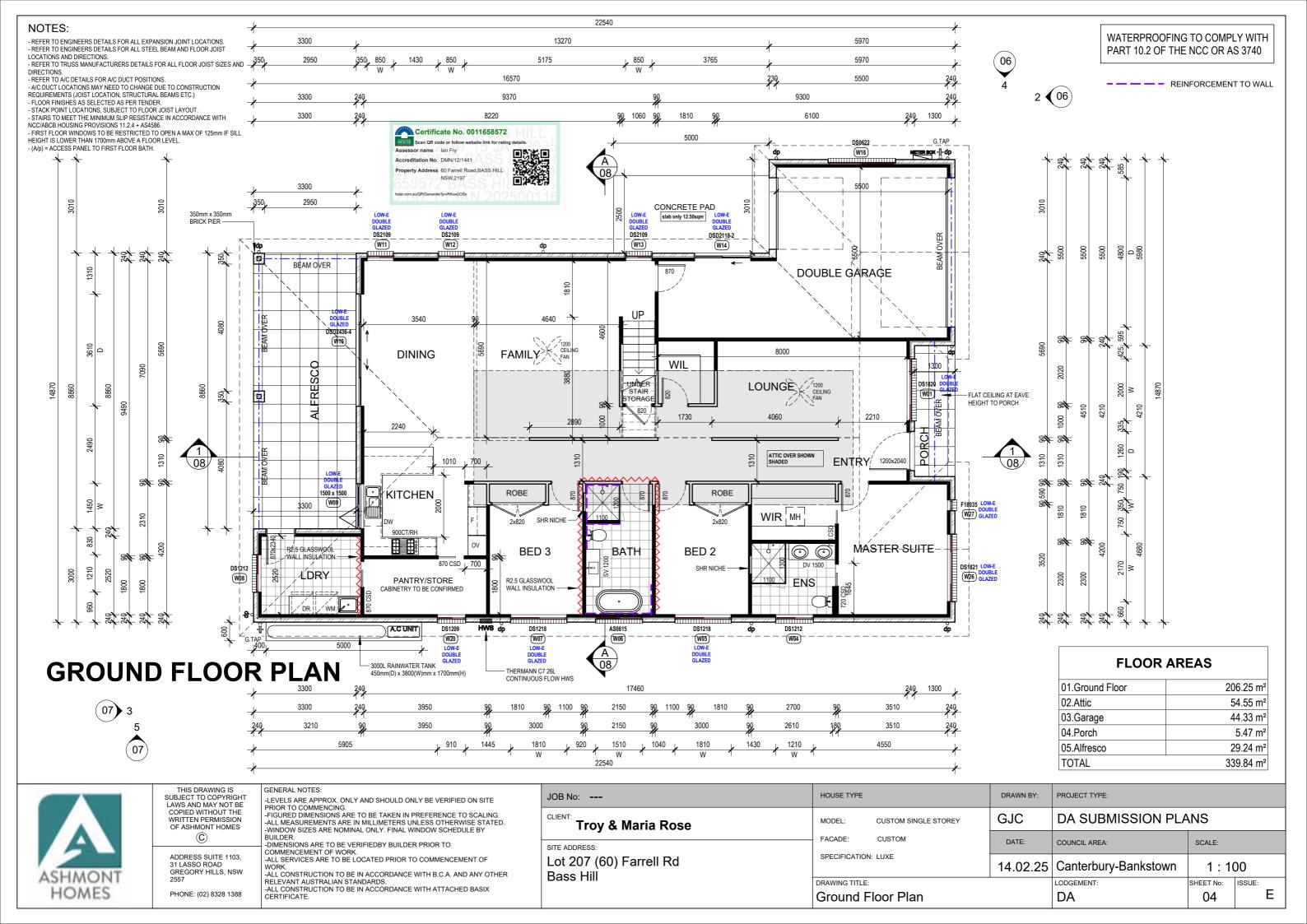
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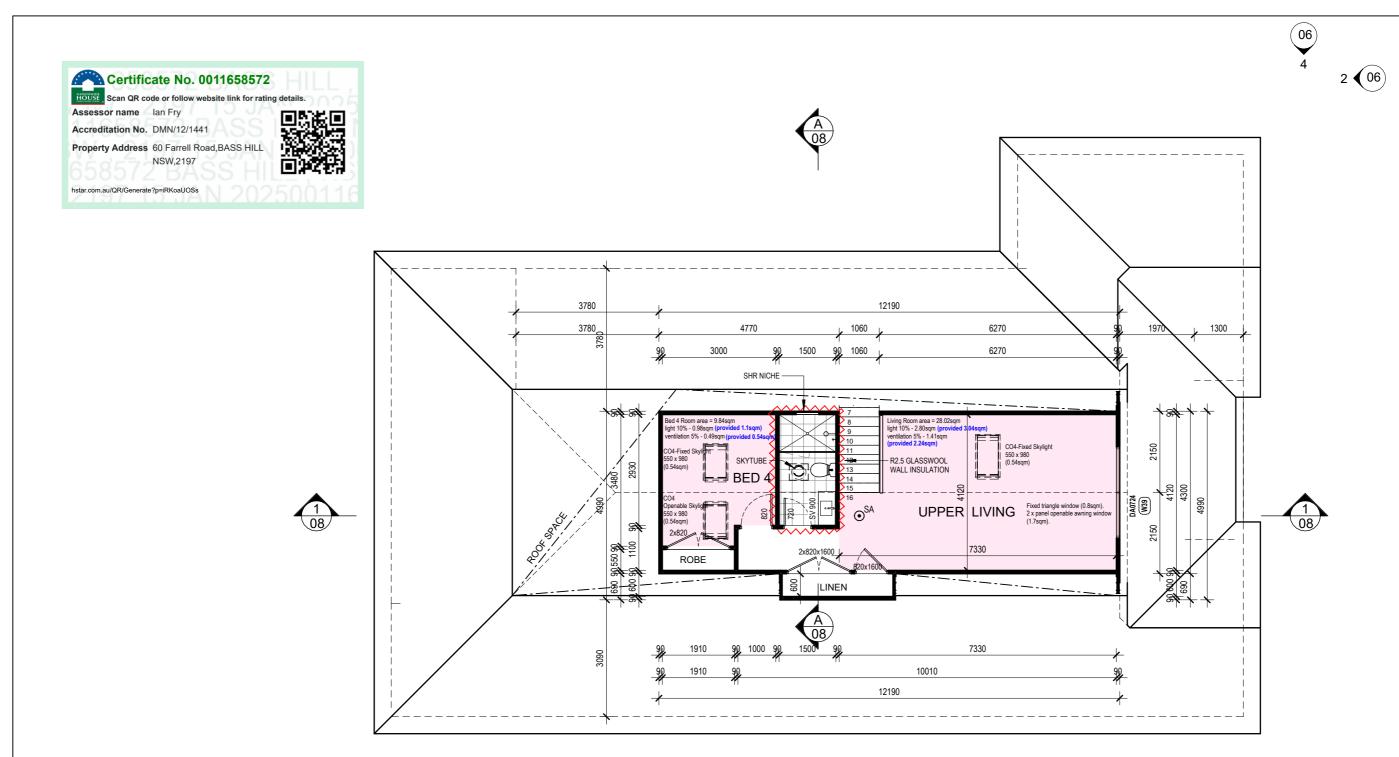
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# **ATTIC FLOOR PLAN**



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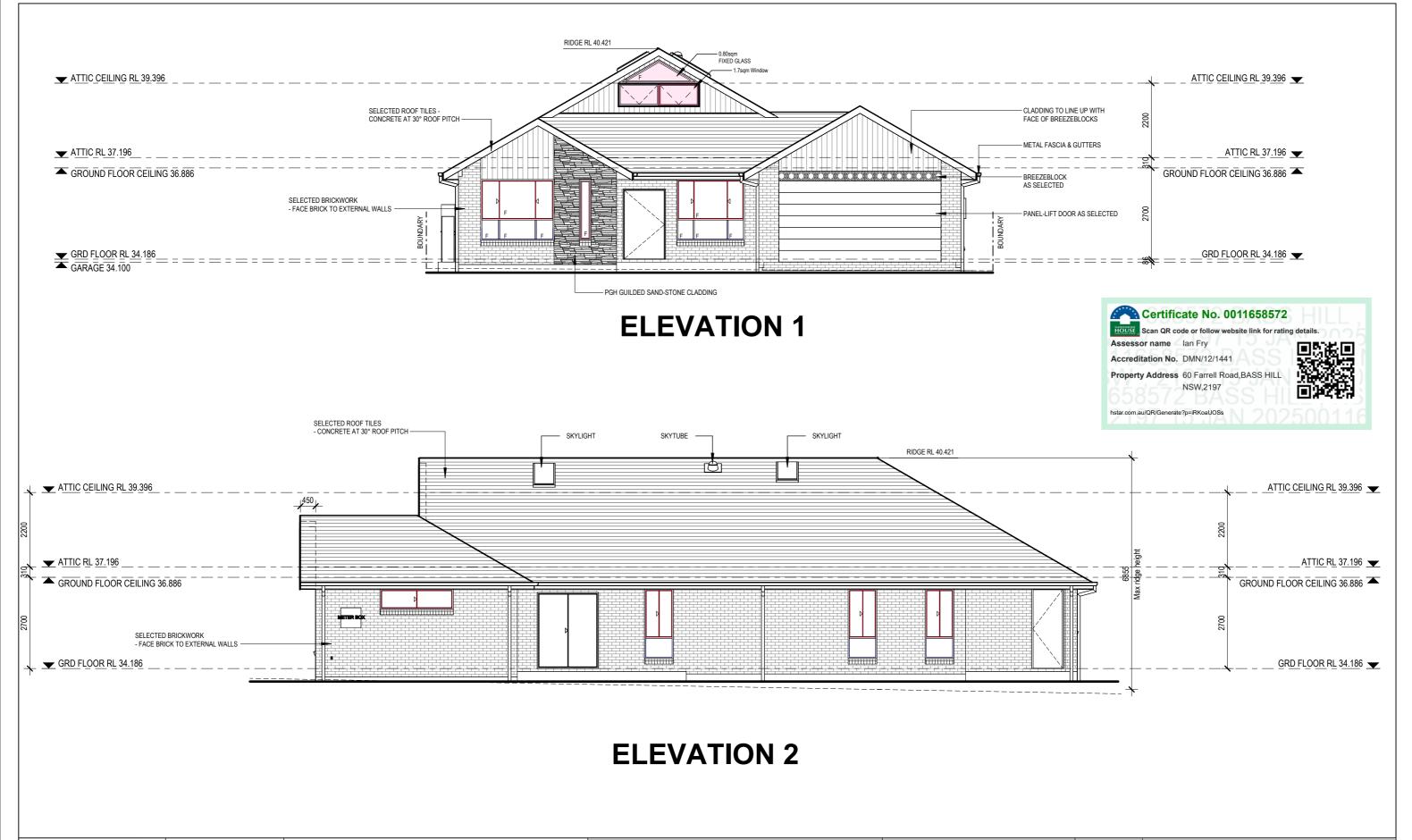
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	JOB No:	HOUSE TYPE		DRAWN BY:	PROJECT TYPE:		
CLI	CLIENT: Troy & Maria Rose	MODEL:	CUSTOM SINGLE STOREY	GJC	DA SUBMISSION PLANS		
	SITE ADDRESS:	FACADE:	CUSTOM	DATE:	COUNCIL AREA:	SCALE:	
1	Lot 207 (60) Farrell Rd Bass Hill	SPECIFICATION: LUXE		14.02.25	Canterbury-Bankstown	1 : 10	00
	Dass i IIII	Attic Floor Plan			DA	SHEET No:	ISSUE:





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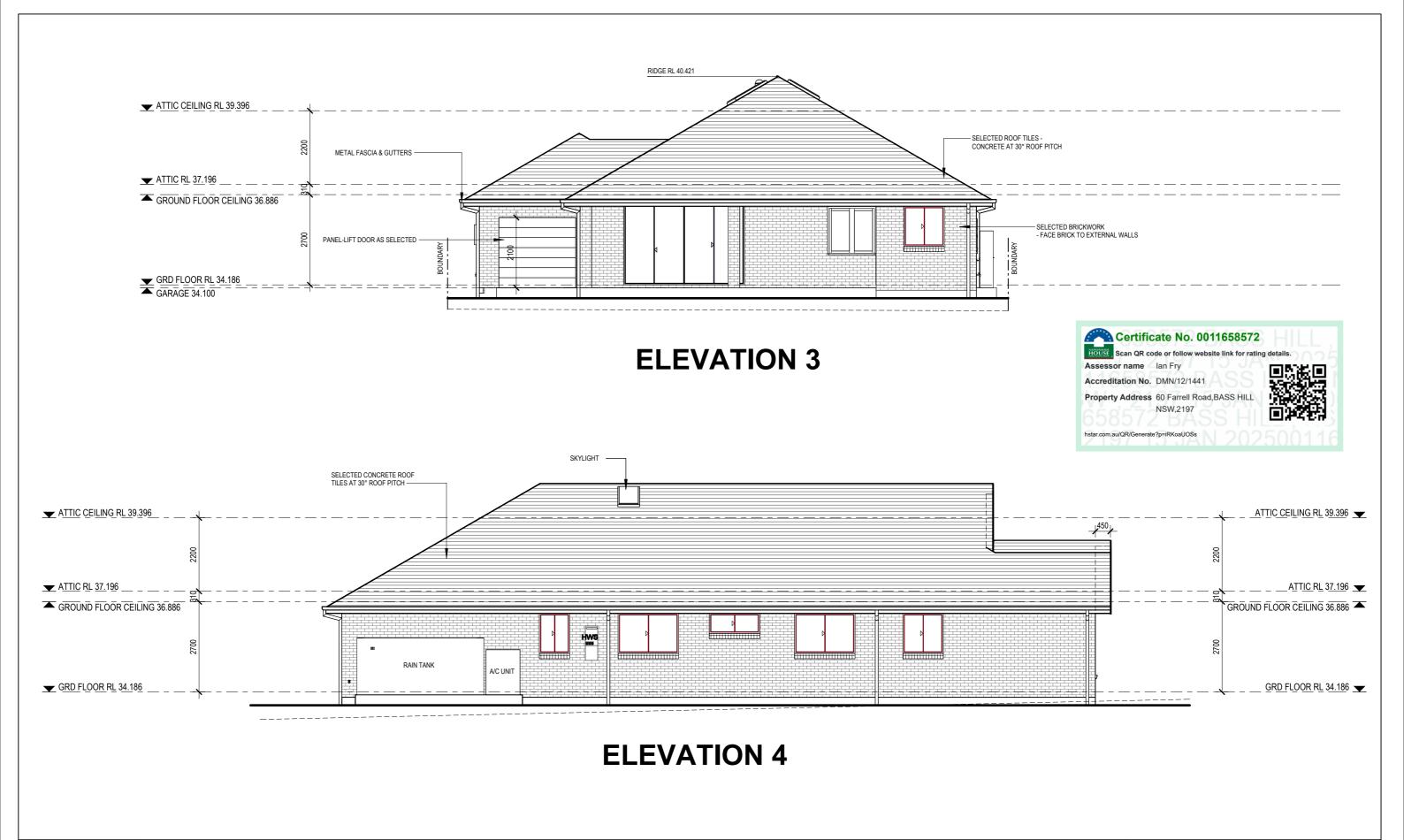
CLIENT: Troy & Maria Rose
Lot 207 (60) Farrell Rd

JOB No: ---

Bass Hill

HOUSE ITTE		DRAWN BT.	PROJECT TIPE.			
MODEL:	CUSTOM SINGLE STOREY	GJC	DA SUBMISSION PLA	_ANS		
FACADE:	CUSTOM	DATE:	COUNCIL AREA:	SCALE:		
SPECIFICATION: LUXE		14.02.25	Canterbury-Bankstown	1:100		
DRAWING TITLE:			LODGEMENT:	SHEET No:	ISSUE:	
Elevations	s 1-2		DA	06		

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**Troy & Maria Rose** Lot 207 (60) Farrell Rd Bass Hill

JOB No: ---

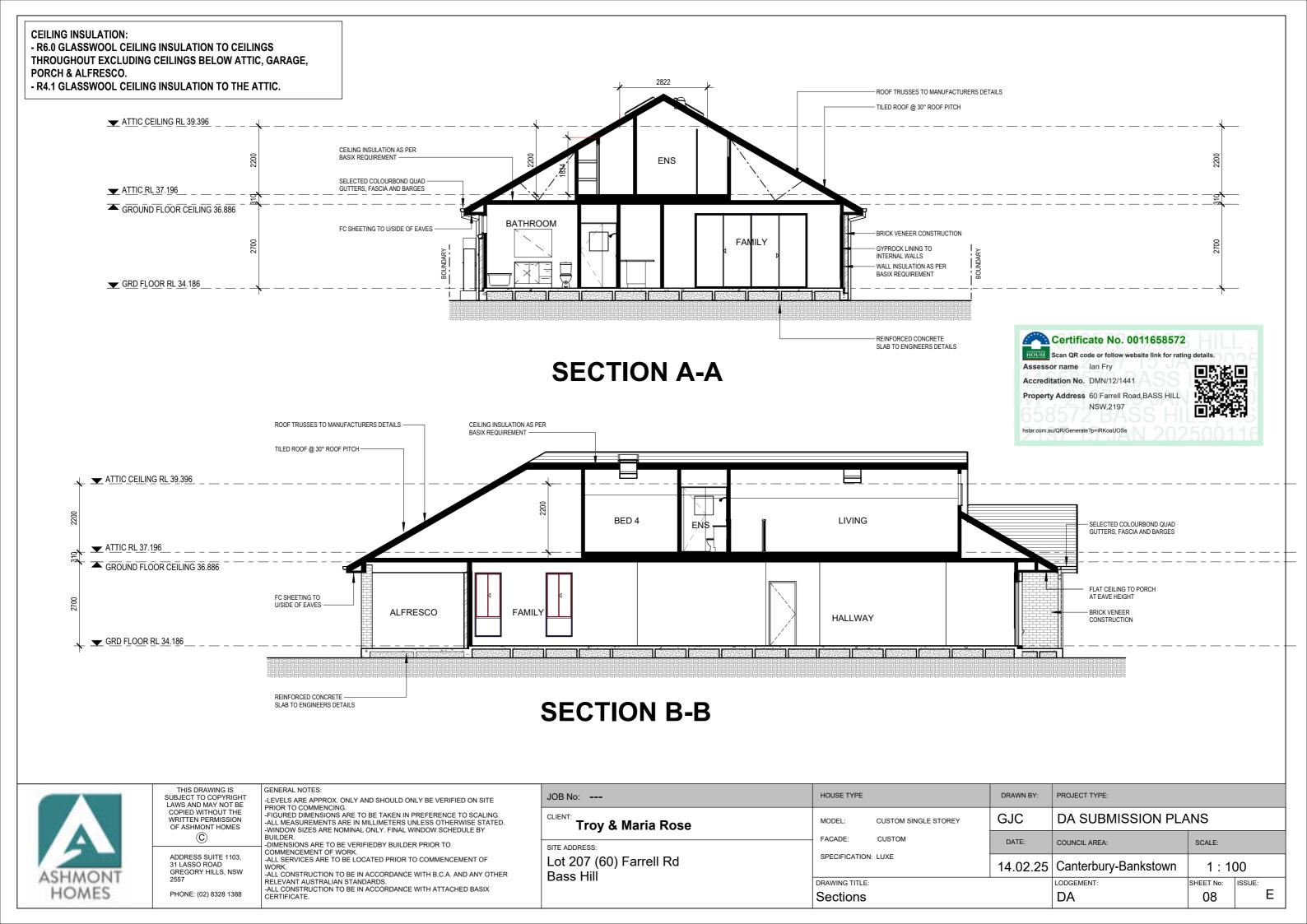
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	MODEL:	CUSTOM SINGLE STOREY	GJC	DA SUBMISSION PLANS		
	FACADE: CUSTOM  SPECIFICATION: LUXE  DRAWING TITLE:		DATE:	COUNCIL AREA:	SCALE:	
			14.02.25	Canterbury-Bankstown	1 : 10	00
				LODGEMENT:	SHEET No:	ISSU

Elevations 3-4

DA

ISSUE:

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BASIX COMMITMENTS		1	ENERG
PROJECT DETAILS			Date 28/01/25
PROJECT DETAILS	EEG A		Unit/Number 60
Site Area Roof Area	556.4 318	m² m²	Floors
Number of bedrooms	318		Ground
		m² [	1st Floor
Total area of vegetation (garden & lawn)	169		Walls
ABSA Certificate Number (if applicable)	200 0	11030372	Ground
Net Conditioned Floor Area	220.8	m-	1st Floor
Net Unconditioned Floor Area	17	m²	
Climate Zone	56		Coilingo
Cooling Load (if applicable)	12	WD/III / Pa	Ceilings Ground
Heating Load (if applicable)	18	MI/m~/na	1st Floor
WATER COMMITMENTS			
FIXTURES			Glazing
All showers minimum 4 star rating			Supplier
Toilet flushing system minimum 4 star rating		\	Wideline
All basin Taps minimum 4 star rating			
All Kitchane Taps minimum 4 star rating			
ALTERNATIVE WATER			
Rain tank to have a capacity of 3000L			
Rainwater Tank to collect at least 254.62m² of rain runoff from roof area.			Ceiling Fa
Rainwater tank to be connected to all toilets & cold water tap that supplies each clothes washer in the development. At least 1 outdoor tap (Note rainwater be used for human consumption in areas with potable water supply ENERGY COMMITMENTS		nend that	Showerheads 4 Star > 6 but  Energy
HOT WATER			Solar Photov
Hot water system to be gas instantaneous min 7 stars			Ventilatio
COOLING SYSTEMS		į	ventilatio
The applicant must install the following cooling system, or a system with a hig phase airconditioning: Enery rating: EER: 3.0-3.5. In at least 1 bedroom: 1 phase airconditioning: Enery rating: EER: 3.0-3.5.	her energy rating in at least 1 li	ving area: 1	Notes - Rename study
HEATING SYSTEMS			The project has All new re
The applicant must install the following heating system, or a system with a hig phase airconditioning: Enery rating: EER: 3.0-3.5.	ther energy rating in at least 1 li	ving area: 1	Frys Buildin
, , ,			
In at least 1 bedroom: 1 phase airconditioning: Enery rating : EER: 3.0-3.5.			
VENTILATION		-	
At least 1 Bathroom: individual fan, ducted to façade or roof:			
Operation control manual switch on/off			
Kitchen: individual fan, ducted to façade or roof:			
Operational control: manual switch on/off		40	
Laundry: Natural ventilation only, or no lundry: Operational control: N/A			



DP

#### **BASIX & THERMAL COMMITMENTS**







Post Code State

230871 Waffle Pod 300mn

Walls	Colour	External Material	Insulation	Internal Material	Internal Insulated	
iround	Medium	Brick Veneer Timber frame	R2.5, Non Reflective Wrap	Plaster Timber 90mm	L'dry, Bath	R2.5
st Floor	Medium	Fibre Cement on Battens Timber Frame	R2.5, Non Reflective Wrap	Plaster Timber 90mm	Bath	R2.5
						D0 =

Ceilings	Material	Inquistion	to Roof Above	Roof	Insulation	Material	Colour	Ventilated
	Material	IIISulation	IO HOOI ADOVE		IIISUIAUOII	Waterial	Colour	venilialeu
round	Plaster Timber Frame	R6.0	R2.5 to Low Edge	Ground	Sarking	Tiles	Dark	No
st Floor	Plaster Timber Frame	R4.0		1st Floor	Sarking	Tiles	Dark	No

Glazing Type Required Location(s) of Glazing Required

> Standard Single Clear Throughout excluding beds wet areas Low-e Double Glaze Standard Double Glaze Skylights in Bed 4 & Study

NS Location
Family & Lounge Fan Size

Rain Water Tank, connected to. Roof Area to Tank Recycled Water, connected to. dscape Area Low Water Area 68.53 **m2** 3,000L Garden, WC, Laundry 80% of Roof Toilets Kitchen Taps Bathroom Taps ess < or = 7.5 litres per minute 4 Star 4 Star 4 Star

Hot Water Air Conditioning Cooling 3.0 - 3.5 EER - Heating 3.0 - 3.5 EER Single Phase Gas Instantaneous 7 Star Outdoor Cloths Line Indoor Clothes Line Itaic System Cooking Electric Cooktop/ Electric Over

Laundry Natural Ventilation- external window

o upper leisure

een assessed under the simulation method of the BASIX Protocol. Downlights fitted after the assessment must be IC Rated and non-ventilated. idential buildings must be constructed in accordance with Building BCA Part 3. 12. 1, Build Sealing BCA Part 3. 12. 3. Insulation must be installed in accordance with MS3995.

Consultancy Pty Ltd Trading as Frys Energywise are Accredited Thermal Energy Assessors ABSA 20856, BDAV 12/1441, COLA 2011291

Certificate No. 0011658572 HOUSE Scan QR code or follow website link for rating details. Assessor name lan Fry

Accreditation No. DMN/12/1441

Property Address 60 Farrell Road, BASS HILL NSW,2197

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GENERAL NOTES:

ARTIFICIAL LIGHTING

NATURAL LIGHTING

Window and/or skylight in the kitchen.

Window and/or skylight in 3 bathrooms/toilets.

The applicant must ensure that a min 80% of lights are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps

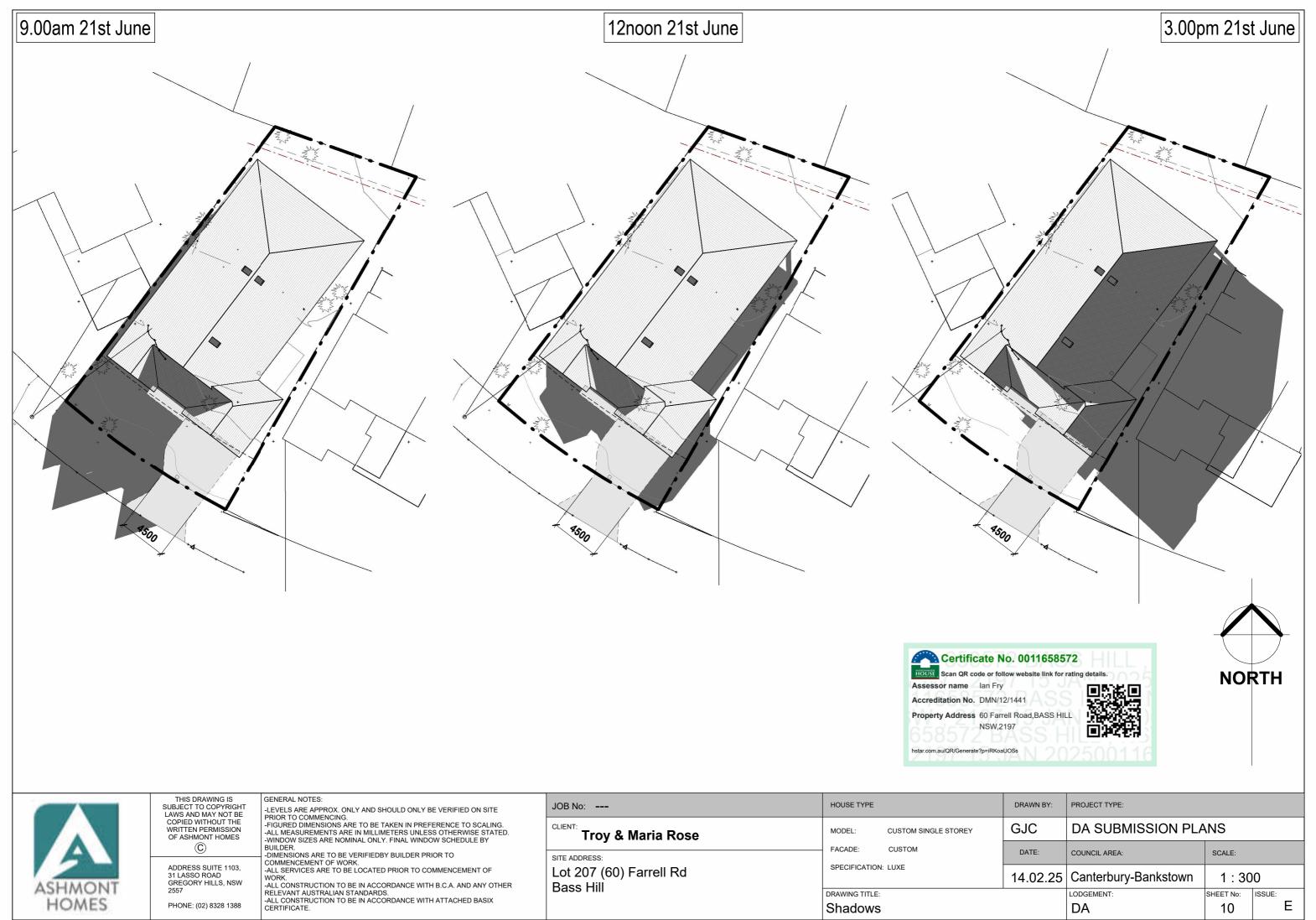
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JOB No:	HOU
Troy & Maria Rose	MOD
SITE ADDRESS:	FAC
Lot 207 (60) Farrell Rd Bass Hill	SPE
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HOUSE TYPE		DRAWN BY:	PROJECT TYPE:		
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FACADE:	CUSTOM	DATE:	COUNCIL AREA:	SCALE:	
SPECIFICATION: LUXE		14.02.25	Canterbury-Bankstown		
DRAWING TITLE:			LODGEMENT:	SHEET No:	ISSUE:
Basix Det	ails		DA	09	E

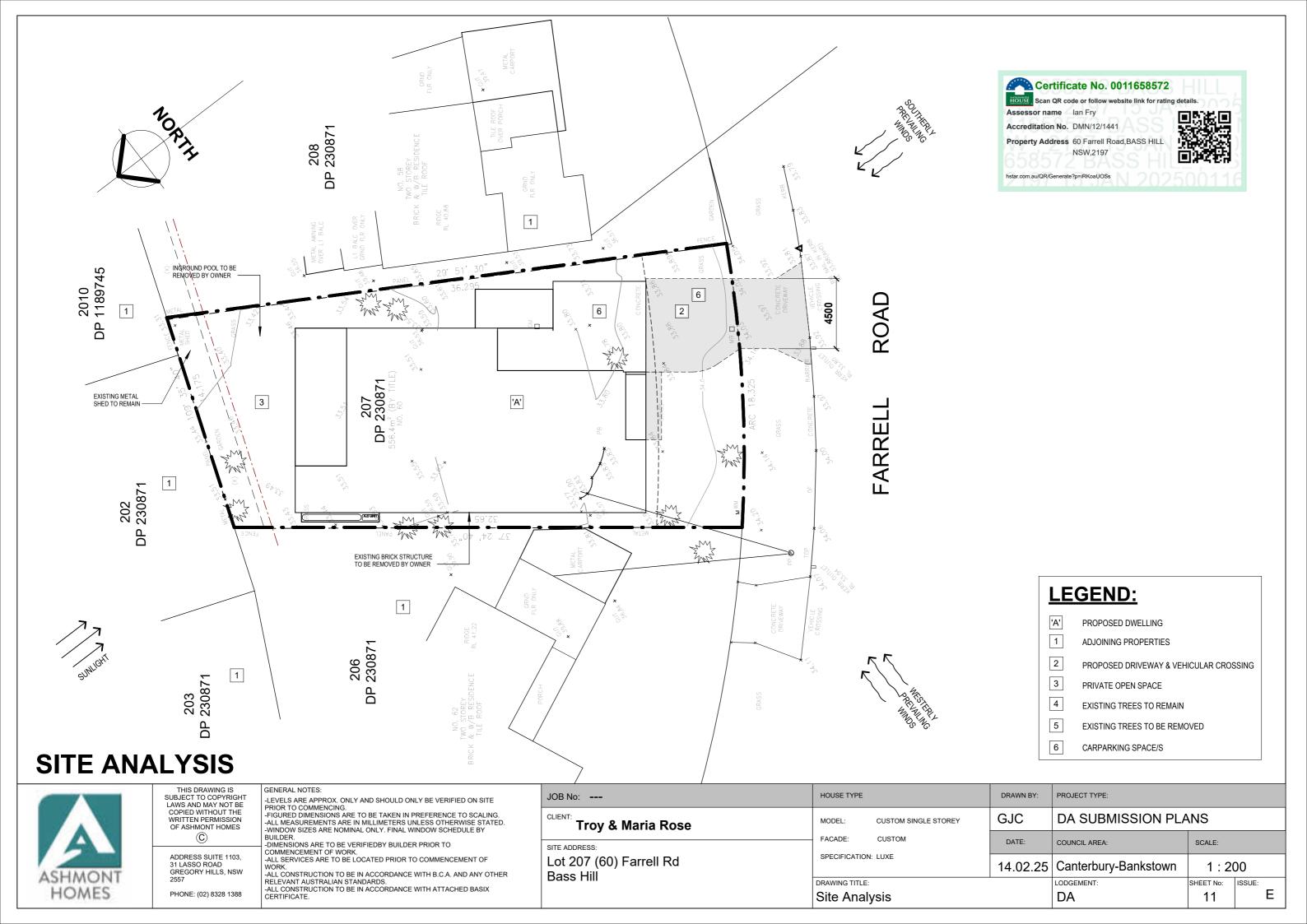


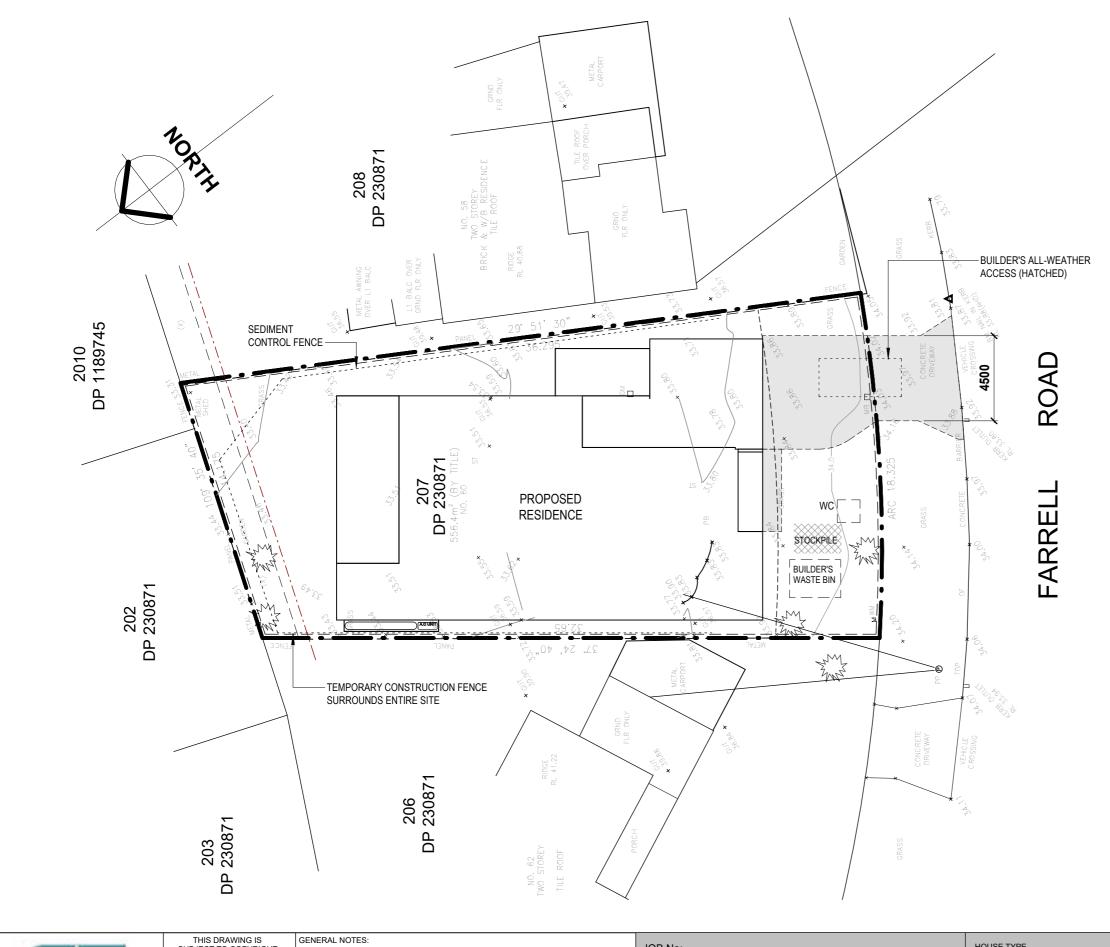


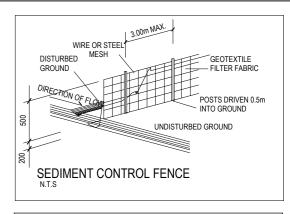
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	SPECIFICATION		14.02.25	Canterbury-Bankstown	1:300		
	Shadows			LODGEMENT:	SHEET No:	ISSUE:	
	Onadows	•		DIT	10		







#### **SEDIMENT NOTE:**

SEDIMENT NOTE:

1. NO STOCKPILING OF MATERIALS IS PERMITTED ON THE VERGE BETWEEN KERB & PROPERTY BOUNDARY.
2. NO VEHICLE CROSSING OR STOCKPILING OF MATERIAL ON VEGETATION BUFFER.
3. ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY.
4. ALL EXISTING VEGETATION WILL BE RETAINED OUTSIDE THE CONSTRUCTION SITE.
5. ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICLE.
6. DEPRESSIONS LEFT IN THE FOOTPATH BY HEAVY TRUCKS ARE TO BE FILLED AS SOON AS POSSIBLE.
7. ONLY ONE EXIT POINT SHOULD BE USED & SHOULD BE CONSTRUCTED SO AS TO PREVENT SOIL REACHING THE ROAD & TO STOP BOGGING.
8. DRAINAGE DITCHES ABOVE & BELOW CUT & FILLED AREAS ARE TO REDUCE EROSION FROM DISTURBED GROUND.

Certificate No. 0011658572 Scan QR code or follow website link for rating details. Assessor name lan Fry Accreditation No. DMN/12/1441

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