


NOTES:  
DO NOT SCALE DRAWINGS - USE WRITTEN DIMENIONS ONLY.  
ALL DIMENSIONS ARE TO STRUCTURAL FRAMES ONLY (FINISHED SURFACES ARE EXCLUDED UNLESS NOTED OTHERWISE)  
DIMENSIONS ARE IN MILLIMETERS

REVISION SCHEDULE			
ISS	DESCRIPTION	BY	DATE
A	Preliminary Plans		09.08.24
B	Amended plans as per mark up dated 18.08.24		27.08.24
C	Amended Plans as per mark up dated 22.10.24		30.10.24
D	Submission Plans		16.12.24
E	Amended Submission Plans		14.02.25

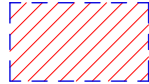
Content of Drawings	
Page	Drawing
01	Cover Sheet
02	Demolition Plan
03	Site Plan
04	Ground Floor Plan
05	Attic Floor Plan
06	Elevations 1-2
07	Elevations 3-4
08	Sections
09	Basix Details
10	Shadows
11	Site Analysis
12	Sediment Control Plan

**Certificate No. 0011658572**  
Scan QR code or follow website link for rating details.  
Assessor name    Ian Fry  
Accreditation No.    DMN/12/1441  
Property Address    60 Farrell Road, BASS HILL  
   NSW, 2197  
  
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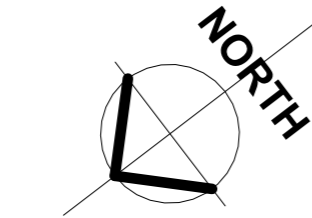
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	ADDRESS SUITE 1103, 31 LASSO ROAD GREGORY HILLS, NSW 2557  PHONE: (02) 8328 1388	CLIENT: <b>Troy &amp; Maria Rose</b>  SITE ADDRESS: <b>Lot 207 (60) Farrell Rd Bass Hill</b>	MODEL:            CUSTOM SINGLE STOREY  FACADE:            CUSTOM  SPECIFICATION: LUXE  DRAWING TITLE: <b>Cover Sheet</b>	GJC		DA SUBMISSION PLANS		
				DATE:	COUNCIL AREA:	SCALE:		
				14.02.25	Canterbury-Bankstown			
			LODGEMENT:	SHEET No:	ISSUE:			
			DA	01	E			



STRUCTURES TO REMAIN



STRUCTURES TO BE DEMOLISHED PRIOR  
TO CONSTRUCTION COMENCEMENT



2010  
DP 1189745

202  
DP 230871

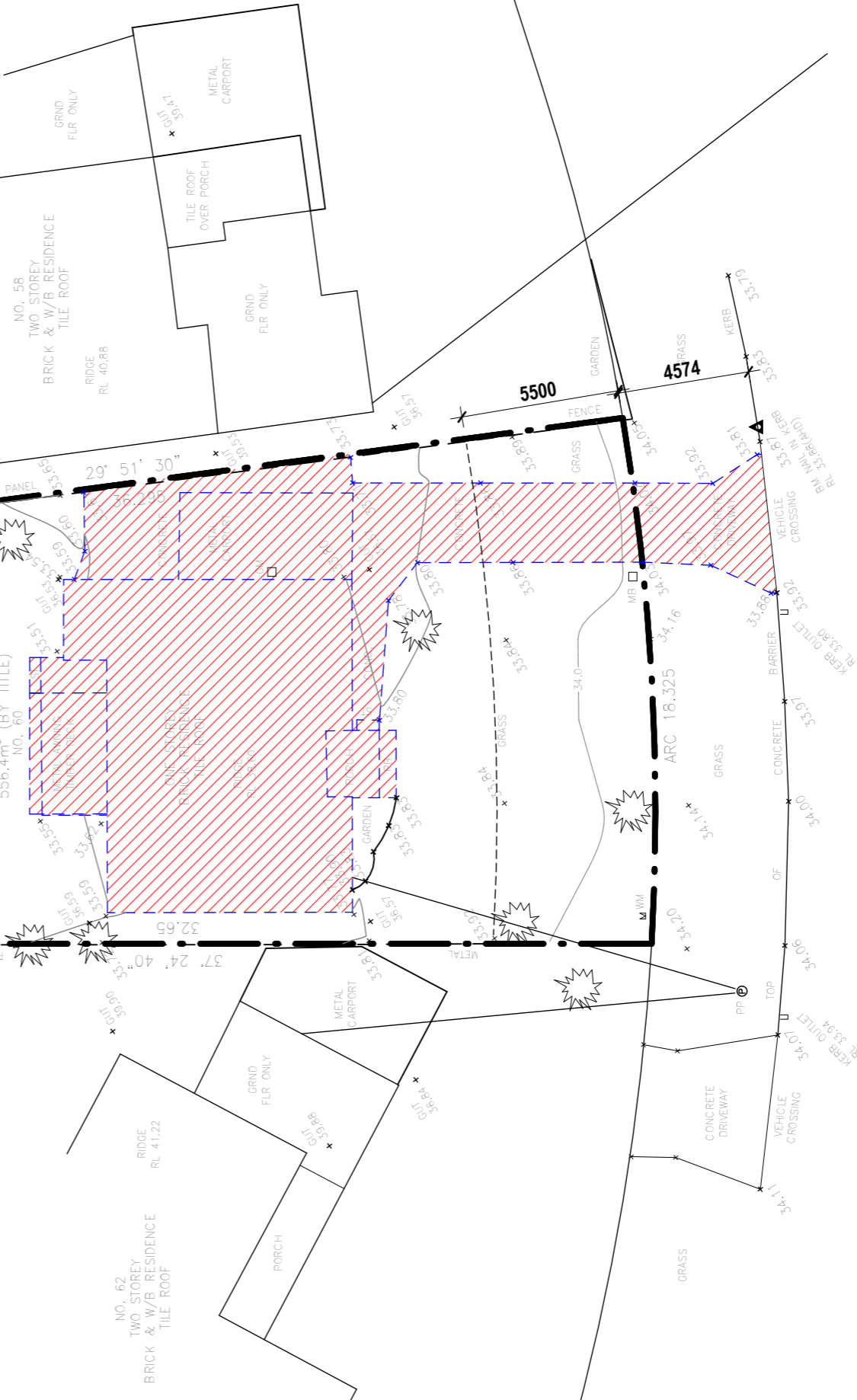
203  
DP 230871

208  
DP 230871

206  
DP 230871

207  
DP 230871

556.4m<sup>2</sup> (BY TITLE)



FARRELL ROAD



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Assessor name Ian Fry

Accreditation No. DMN/12/1441

Property Address 60 Farrell Road, BASS HILL  
NSW, 2197



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JOB No: ---

CLIENT:

**Troy & Maria Rose**

SITE ADDRESS:

**Lot 207 (60) Farrell Rd  
Bass Hill**

HOUSE TYPE

MODEL: CUSTOM SINGLE STOREY

FACADE: CUSTOM

SPECIFICATION: LUXE

DRAWING TITLE:

**Demolition Plan**

DRAWN BY:

**GJC**

DATE:

**14.02.25**

PROJECT TYPE:

**DA SUBMISSION PLANS**

COUNCIL AREA:

**Canterbury-Bankstown**

LODGEMENT:

**DA**

SCALE:

**1 : 200**

SHEET No:

**02**

ISSUE:

**E**

**SITE NOTES:**

BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK.

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS.

LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR.

DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEER DETAILS.

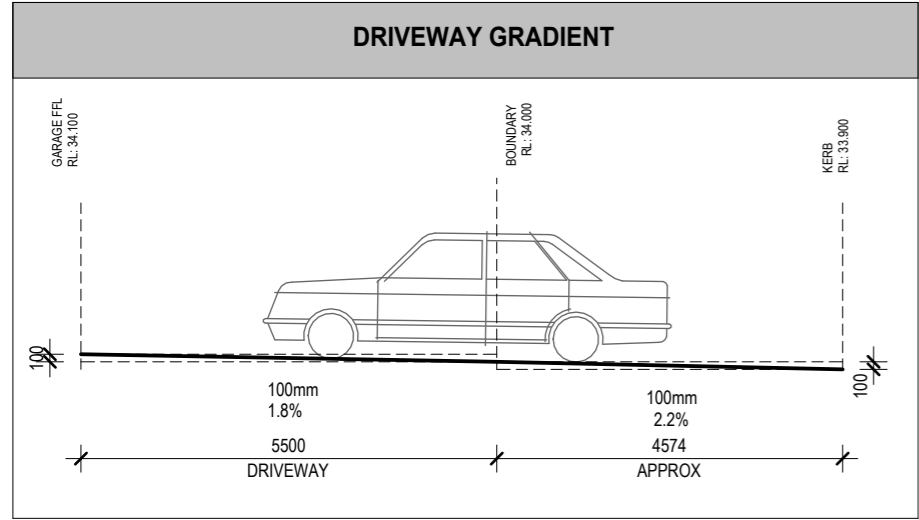
WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED, THE ENGINEER PLANS WILL PREFERENCE TO THESE DRAWINGS.

FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED AND VERIFIED BEFORE WORK IS COMMENCED.

ANY RETAINING WALLS REQUIRED TO BE COMPLETED BY OWNERS TO MANUFACTURER'S SPECIFICATIONS.

COUNCIL COMPLIANCE	
SITE DETAILS	
LGA CONTROL	Canterbury Bankstown DCP 2023
LOT NUMBER / DP NUMBER	207 / DP230871
ZONING	R2 LOW DENSITY RESIDENTIAL
LOT WIDTH	18.325m/14.175m
SITE AREA	556.40m²
FLOOR SPACE RATIO	
MAX ALLOWABLE BY CODE	0.5:1 = 278.20m²
PROPOSED F.S.R	0.46:1 = 253.50m²
LANDSCAPING AREAS	
FRONT YARD	66.47m²
REAR YARD	102.06m²
TOTAL LANDSCAPE AREA	168.53m²
PRIVATE OPEN SPACE	
MAX ALLOWABLE BY CODE:	80.00m²
TOTAL P.O.S	122.53m²
SITE COVERAGE	
250.60m² / 45.04%	

0.400m FALL OVER BUILDING ENVELOPE



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JOB No: ---

CLIENT: **Troy & Maria Rose**

SITE ADDRESS: **Lot 207 (60) Farrell Rd Bass Hill**

HOUSE TYPE

MODEL: CUSTOM SINGLE STOREY

FACADE: CUSTOM

SPECIFICATION: LUXE

DRAWING TITLE: **Site Plan**

DRAWN BY: **GJC**

PROJECT TYPE: **DA SUBMISSION PLANS**

DATE: **14.02.25**

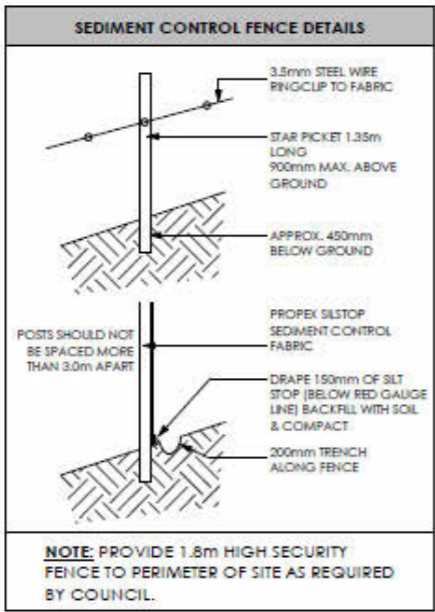
COUNCIL AREA: **Canterbury-Bankstown**

SCALE: **As indicated**

LODGEMENT: **DA**

SHEET No: **03**

ISSUE: **E**



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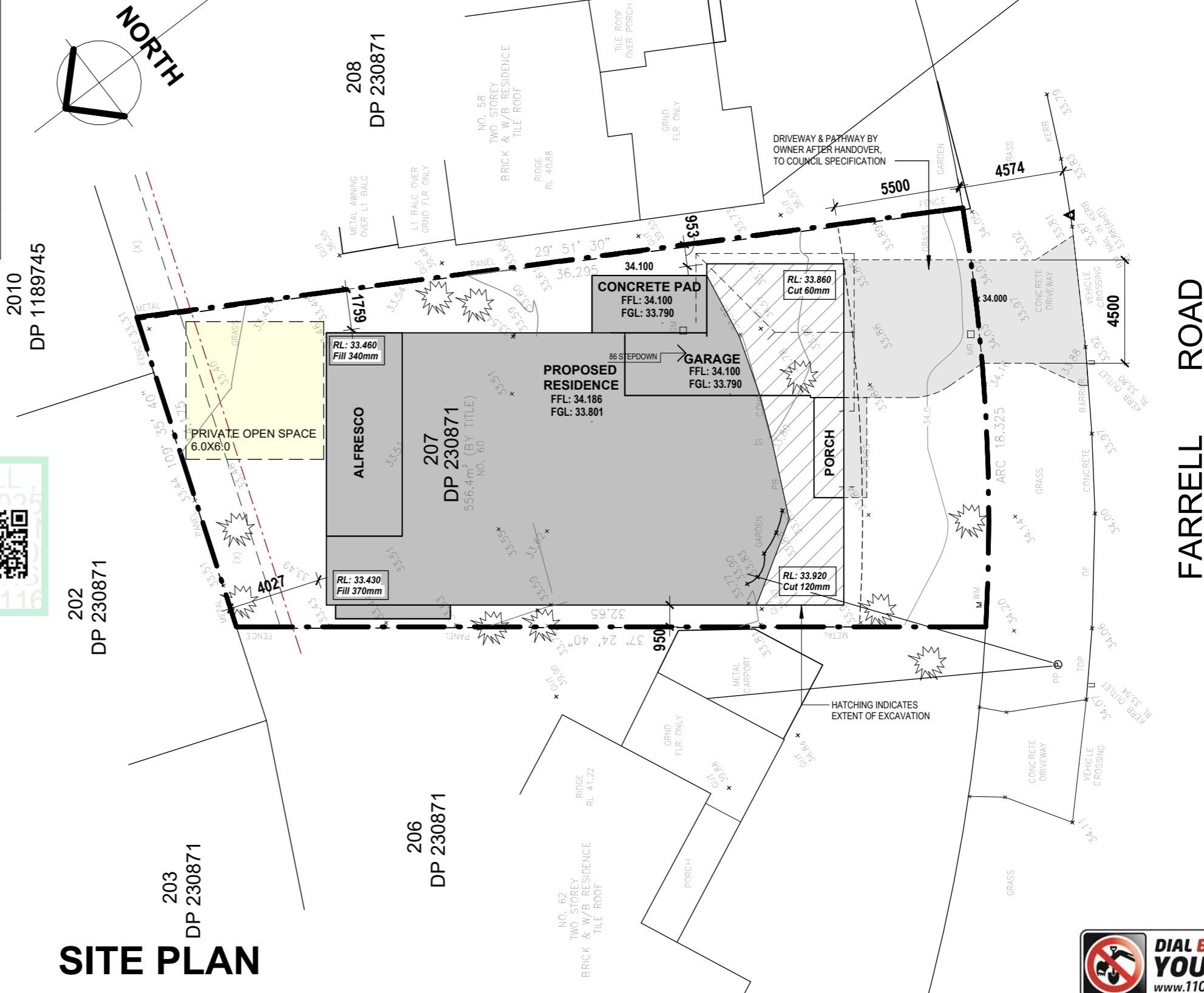
Assessor name Ian Fry

Accreditation No. DMN/12/1441

Property Address 60 Farrell Road, BASS HILL NSW, 2197

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## SITE PLAN



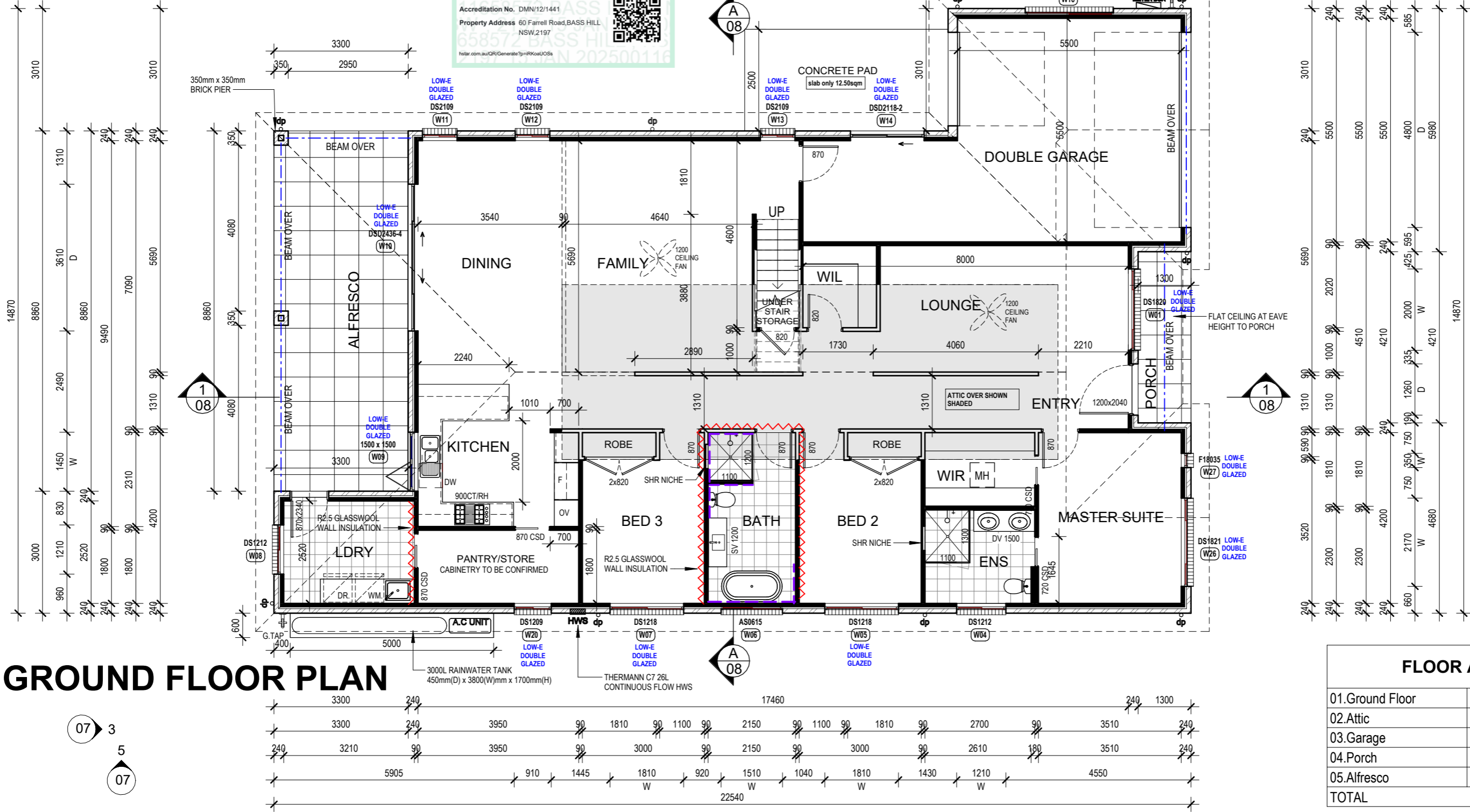
NOTES:

- REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
- REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
- REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
- REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
- A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC.)
- FLOOR FINISHES AS SELECTED AS PER TENDER.
- STACK POINT LOCATIONS, SUBJECT TO FLOOR JOIST LAYOUT.
- STAIRS TO MEET THE MINIMUM SLIP RESISTANCE IN ACCORDANCE WITH NCC/ABC HOUSING PROVISIONS 11.2.4 + AS4586.
- FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.
- (A/p) = ACCESS PANEL TO FIRST FLOOR BATH.



WATERPROOFING TO COMPLY WITH  
PART 10.2 OF THE NCC OR AS 3740

REINFORCEMENT TO WALL



GROUND FLOOR PLAN

FLOOR AREAS

01.Ground Floor	206.25 m <sup>2</sup>
02.Attic	54.55 m <sup>2</sup>
03.Garage	44.33 m <sup>2</sup>
04.Porch	5.47 m <sup>2</sup>
05.Alfresco	29.24 m <sup>2</sup>
TOTAL	339.84 m <sup>2</sup>



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JOB No: ---

CLIENT:  
**Troy & Maria Rose**

SITE ADDRESS:  
**Lot 207 (60) Farrell Rd  
Bass Hill**

HOUSE TYPE

MODEL: CUSTOM SINGLE STOREY

FACADE: CUSTOM

SPECIFICATION: LUXE

DRAWING TITLE:  
**Ground Floor Plan**

DRAWN BY: **GJC**

DATE: **14.02.25**

PROJECT TYPE:  
**DA SUBMISSION PLANS**

COUNCIL AREA: **Canterbury-Bankstown**

SCALE: **1 : 100**

LODGEMENT: **DA**

SHEET No: **04**

ISSUE: **E**



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Assessor name

Ian Fry

Accreditation No.

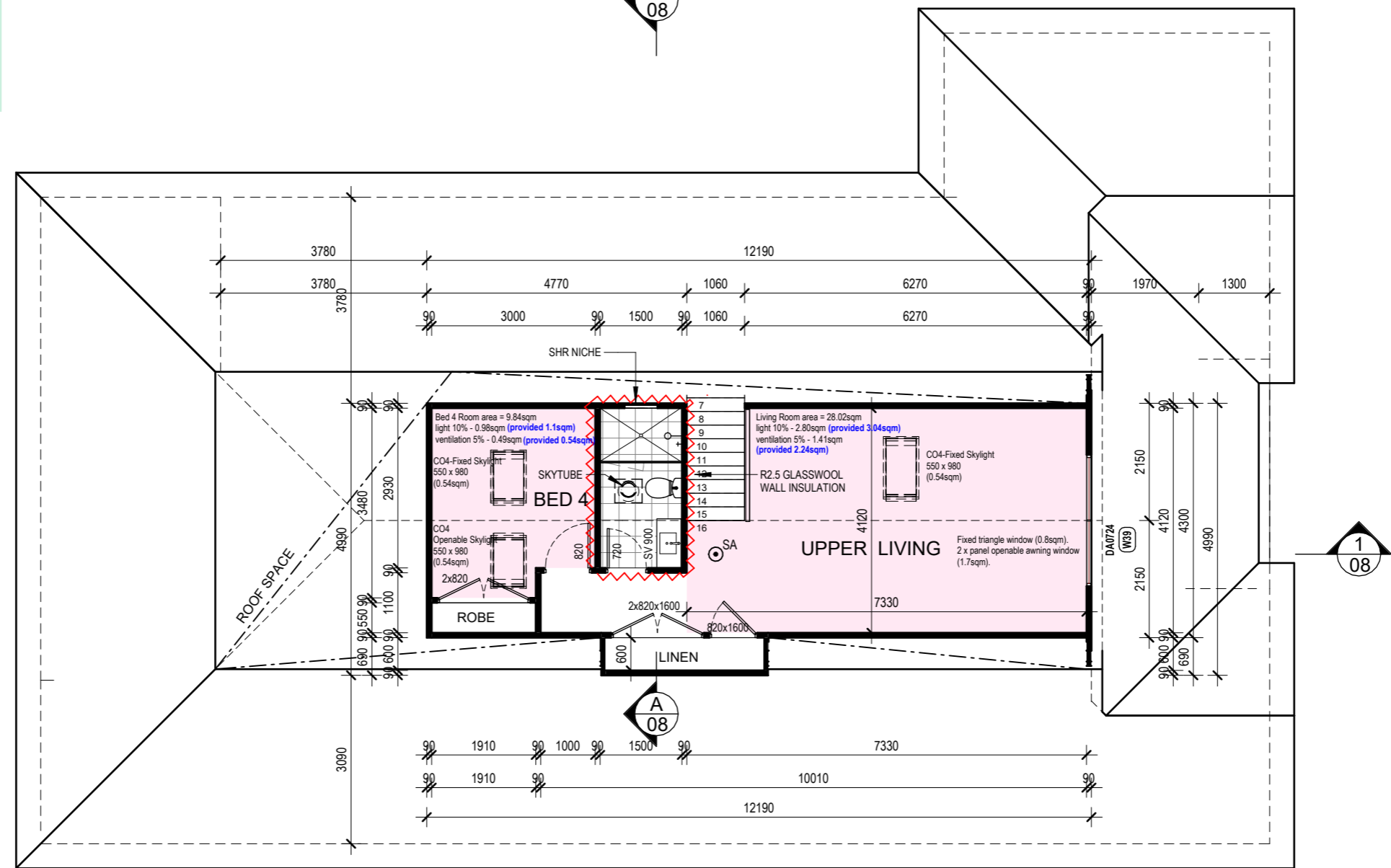
DMN/12/1441

Property Address


60 Farrell Road,BASS HILL  
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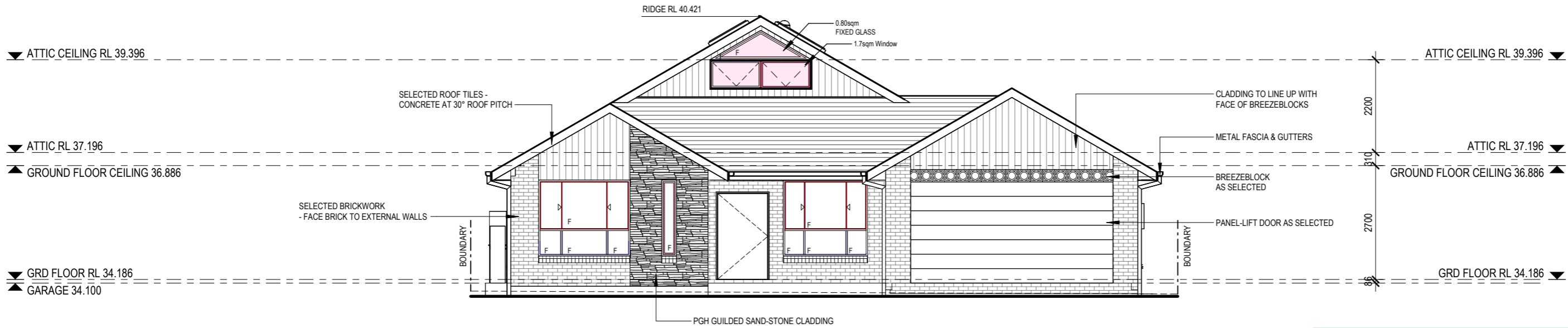
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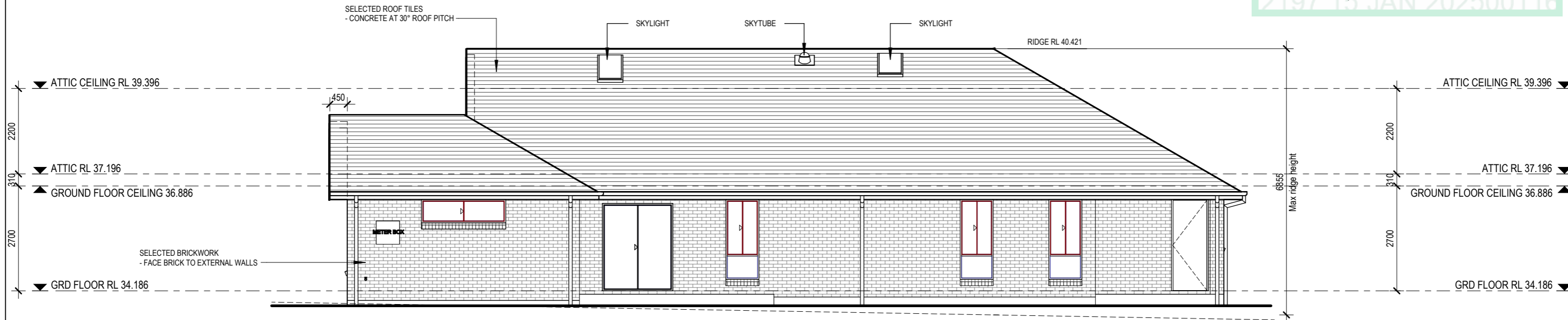


# ATTIC FLOOR PLAN


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			CLIENT: <b>Troy &amp; Maria Rose</b>		MODEL: CUSTOM SINGLE STOREY	GJC	DA SUBMISSION PLANS	
	SITE ADDRESS: <b>Lot 207 (60) Farrell Rd Bass Hill</b>				FACADE: CUSTOM	DATE:	COUNCIL AREA:	SCALE:
			SPECIFICATION: LUXE	14.02.25	Canterbury-Bankstown	1 : 100		
	ADDRESS SUITE 1103, 31 LASSO ROAD GREGORY HILLS, NSW 2557  PHONE: (02) 8328 1388		DRAWING TITLE: <b>Attic Floor Plan</b>		LODGEMENT: DA	SHEET No: 05	ISSUE: E	

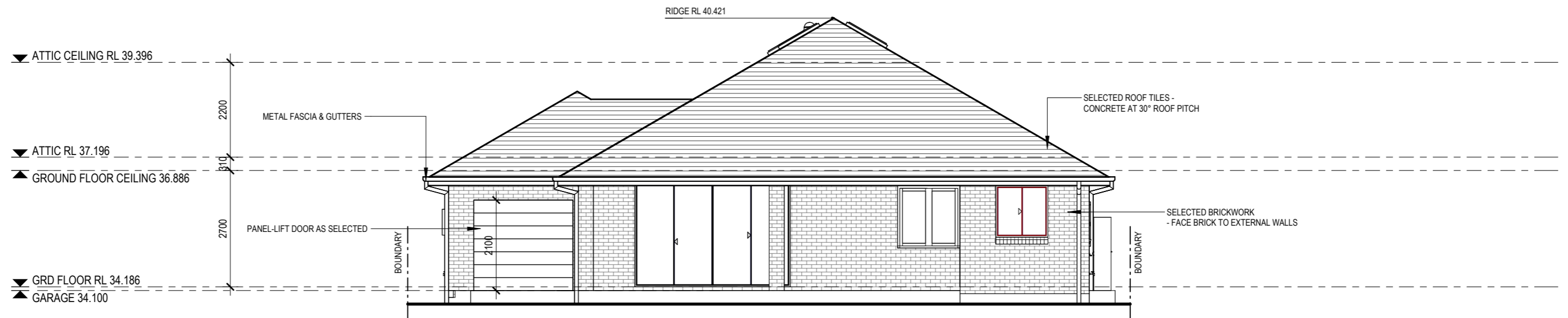


ELEVATION 1




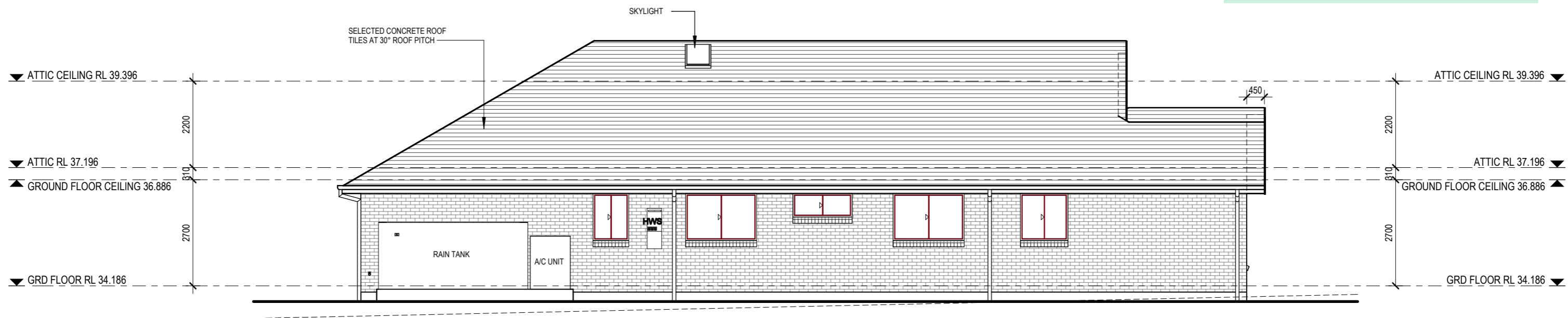
ELEVATION 2

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			CLIENT: <b>Troy &amp; Maria Rose</b>		MODEL: CUSTOM SINGLE STOREY		GJC		DA SUBMISSION PLANS		
	SITE ADDRESS: <b>Lot 207 (60) Farrell Rd Bass Hill</b>		FACADE: CUSTOM		DATE:		COUNCIL AREA:		SCALE:		
			SPECIFICATION: LUXE		14.02.25		Canterbury-Bankstown		1 : 100		
	ADDRESS SUITE 1103, 31 LASSO ROAD GREGORY HILLS, NSW 2557  PHONE: (02) 8328 1388		DRAWING TITLE: <b>Elevations 1-2</b>				LODGEMENT: <b>DA</b>		SHEET No: <b>06</b>		ISSUE: <b>E</b>




ELEVATION 3

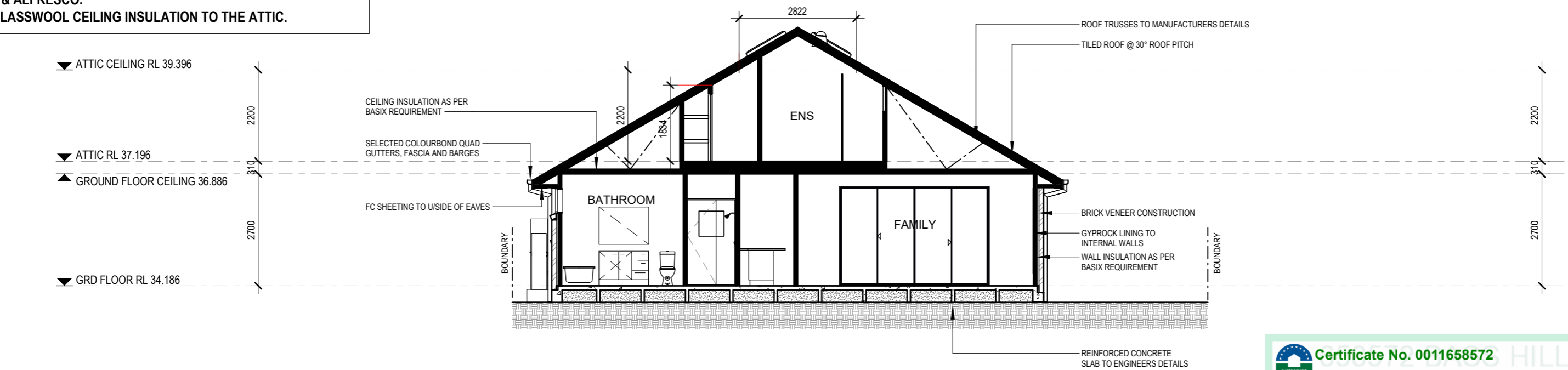
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Accreditation No.   DMN/12/1441  
Property Address   60 Farrell Road,BASS HILL  
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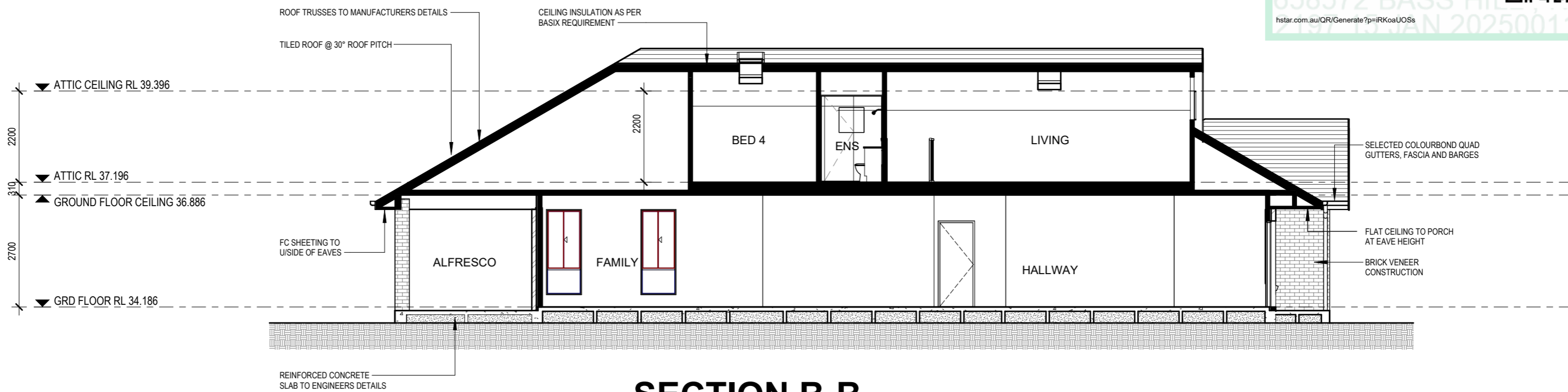
ELEVATION 4

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	SITE ADDRESS: <b>Lot 207 (60) Farrell Rd Bass Hill</b>		FACADE: CUSTOM	DATE:	COUNCIL AREA:	SCALE:			
			SPECIFICATION: LUXE	14.02.25	Canterbury-Bankstown	1 : 100			
ADDRESS SUITE 1103, 31 LASSO ROAD GREGORY HILLS, NSW 2557  PHONE: (02) 8328 1388			DRAWING TITLE: <b>Elevations 3-4</b>			LODGEMENT: <b>DA</b>	SHEET No: <b>07</b>	ISSUE: <b>E</b>	


CEILING INSULATION:  
- R6.0 GLASSWOOL CEILING INSULATION TO CEILINGS  
THROUGHOUT EXCLUDING CEILINGS BELOW ATTIC, GARAGE,  
PORCH & ALFRESCO.  
- R4.1 GLASSWOOL CEILING INSULATION TO THE ATTIC.



SECTION A-A




SECTION B-B

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Accreditation No.    DMN/12/1441

Property Address    60 Farrell Road,BASS HILL  
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			CLIENT: <b>Troy &amp; Maria Rose</b>		MODEL:            CUSTOM SINGLE STOREY		GJC		DA SUBMISSION PLANS		
	SITE ADDRESS: <b>Lot 207 (60) Farrell Rd Bass Hill</b>		FACADE:            CUSTOM		DATE:		COUNCIL AREA:		SCALE:		
			SPECIFICATION: LUXE		14.02.25		Canterbury-Bankstown		1 : 100		
			DRAWING TITLE: <b>Sections</b>		LODGEMENT: DA		SHEET No: 08		ISSUE: E		

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	ADDRESS SUITE 1103, 31 LASSO ROAD GREGORY HILLS, NSW 2557				
	PHONE: (02) 8328 1388				
JOB No: ---		HOUSE TYPE	DRAWN BY:	PROJECT TYPE:	
CLIENT: <b>Troy &amp; Maria Rose</b>		MODEL: CUSTOM SINGLE STOREY	GJC	DA SUBMISSION PLANS	
SITE ADDRESS: <b>Lot 207 (60) Farrell Rd Bass Hill</b>		FACADE: CUSTOM	DATE:	COUNCIL AREA:	SCALE:
		SPECIFICATION: LUXE	14.02.25	Canterbury-Bankstown	
		DRAWING TITLE: <b>Basix Details</b>		LODGEMENT: <b>DA</b>	SHEET No: <b>09</b>



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NSW, 2197



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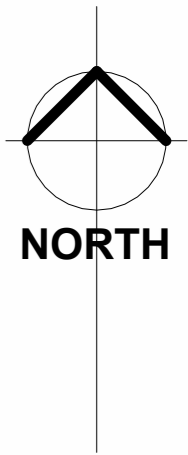



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			CLIENT: <b>Troy &amp; Maria Rose</b>		MODEL: CUSTOM SINGLE STOREY		GJC		DA SUBMISSION PLANS		
	SITE ADDRESS: <b>Lot 207 (60) Farrell Rd Bass Hill</b>		FACADE: CUSTOM		DATE:		COUNCIL AREA:		SCALE:		
			SPECIFICATION: LUXE		14.02.25		Canterbury-Bankstown		1 : 300		
	ADDRESS SUITE 1103, 31 LASSO ROAD GREGORY HILLS, NSW 2557  PHONE: (02) 8328 1388		DRAWING TITLE: <b>Shadows</b>				LODGEMENT: <b>DA</b>		SHEET No: <b>10</b>		ISSUE: <b>E</b>



Certificate No. 0011658572

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Assessor name Ian Fry

Accreditation No. DMN/12/1441

Property Address 60 Farrell Road,BASS HILL  
NSW,2197

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NORTH

SOUTHERLY  
PREVAILING  
WINDS

FARRELL ROAD

WESTERLY  
PREVAILING  
WINDS

## SITE ANALYSIS

### LEGEND:

- 'A' PROPOSED DWELLING
- 1 ADJOINING PROPERTIES
- 2 PROPOSED DRIVEWAY & VEHICULAR CROSSING
- 3 PRIVATE OPEN SPACE
- 4 EXISTING TREES TO REMAIN
- 5 EXISTING TREES TO BE REMOVED
- 6 CARPARKING SPACE/S



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GREGORY HILLS, NSW  
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- DIMENSIONS ARE TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORK.
- ALL SERVICES ARE TO BE LOCATED PRIOR TO COMMENCEMENT OF WORK.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH B.C.A. AND ANY OTHER RELEVANT AUSTRALIAN STANDARDS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ATTACHED BASIX CERTIFICATE.

JOB No: ---

CLIENT:

Troy & Maria Rose

SITE ADDRESS:

Lot 207 (60) Farrell Rd  
Bass Hill

HOUSE TYPE

MODEL: CUSTOM SINGLE STOREY

FACADE: CUSTOM

SPECIFICATION: LUXE

DRAWING TITLE:

Site Analysis

DRAWN BY:

GJC

DATE:

14.02.25

PROJECT TYPE:

DA SUBMISSION PLANS

COUNCIL AREA:

Canterbury-Bankstown

LODGE MENT:

DA

SCALE:

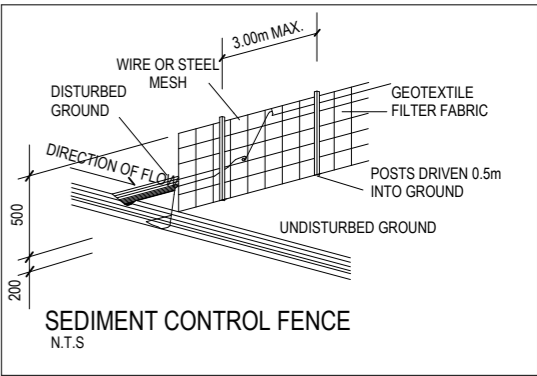
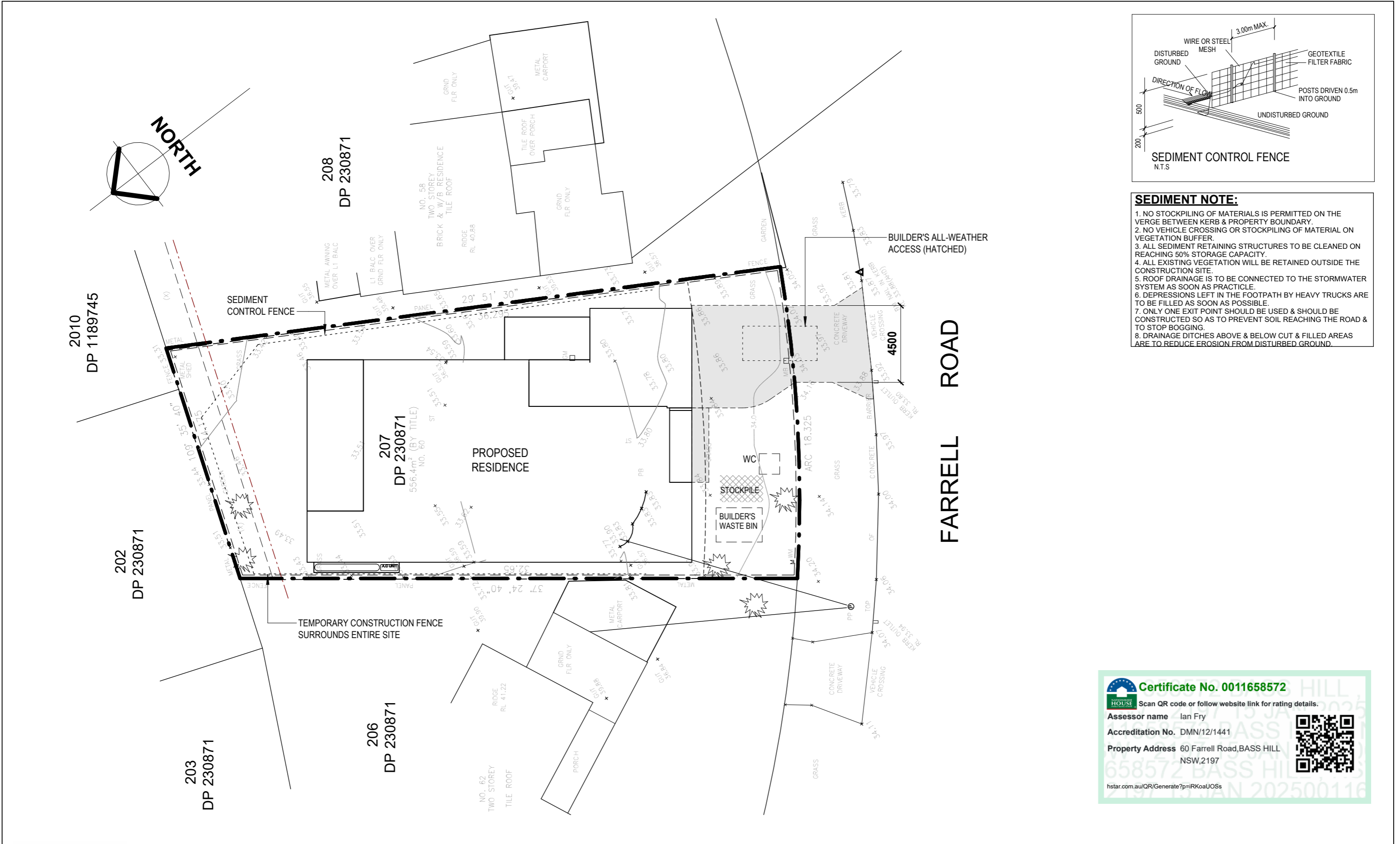
1 : 200

SHEET No:

11

ISSUE:

E



- SEDIMENT NOTE:**
1. NO STOCKPILING OF MATERIALS IS PERMITTED ON THE VERGE BETWEEN KERB & PROPERTY BOUNDARY.
  2. NO VEHICLE CROSSING OR STOCKPILING OF MATERIAL ON VEGETATION BUFFER.
  3. ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY.
  4. ALL EXISTING VEGETATION WILL BE RETAINED OUTSIDE THE CONSTRUCTION SITE.
  5. ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICLE.
  6. DEPRESSIONS LEFT IN THE FOOTPATH BY HEAVY TRUCKS ARE TO BE FILLED AS SOON AS POSSIBLE.
  7. ONLY ONE EXIT POINT SHOULD BE USED & SHOULD BE CONSTRUCTED SO AS TO PREVENT SOIL REACHING THE ROAD & TO STOP BOGGING.
  8. DRAINAGE DITCHES ABOVE & BELOW CUT & FILLED AREAS ARE TO REDUCE EROSION FROM DISTURBED GROUND.



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			CLIENT: <b>Troy &amp; Maria Rose</b>		MODEL: CUSTOM SINGLE STOREY		GJC		DA SUBMISSION PLANS		
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ADDRESS SUITE 1103, 31 LASSO ROAD GREGORY HILLS, NSW 2557  PHONE: (02) 8328 1388			DRAWING TITLE: <b>Sediment Control Plan</b>				LODGEMENT: <b>DA</b>		SHEET No: <b>12</b>	ISSUE: <b>E</b>	